



AMHERSTBURG
EST. 1796

The Corporation of The Town of Amherstburg

BUILDING DEPARTMENT

3295 Meloche Road

Amherstburg, Ontario N9V 2Y9

Phone: 519-736-5408 Email: building@amherstburg.ca

<https://www.amherstburg.ca/en/town-hall/building-applications-permits.aspx>



RESIDENTIAL BUILDING PERMIT INFORMATION PACKAGE

1. Introduction

Welcome to the Town of Amherstburg.

The following information is provided to assist you with your construction project. Please refer to the attached inspection schedule for the required inspections. Requesting inspections is the responsibility of the homeowner or the contractor of the project. Inspection can be requested through “Cloudpermit” and will require to be confirmed with our office. You can also schedule inspections by contacting our office at least 24 hours in advance of the inspection at 519-736-5408. Inspection will be available between 10:00 am to 12 pm and 1:15 pm to 3:30 pm.

To arrange an inspection, please indicate:

- a. Address of inspection
- b. Date and time frame
- c. Type of inspection

Please allow a 30-minute time swing from time requested. This will allow for any interruptions and travel time that is required.

You must verify that all work is ready prior to booking inspections.

Permit documents, including approved drawings, must be available on site at the time of inspection.

For additional information regarding accessory buildings, pools, fences and decks, please refer to the General By-law Information section of this guide.

Please visit the Town of Amherstburg web site at www.amherstburg.ca for any additional information and code changes.

2. Indemnity Deposits and Fees

An indemnity fee of \$1000 or \$2,000 (new residential driveways) will be collected upon the issuance of a building permit. The indemnity fee will be returned upon clearance of the building permit which includes the final grade certificate. Indemnity refunds are valid for up to three (3) years from the date the permit is issued after which the indemnity will be non-refundable.

Please be advised that part, or all the indemnity fees may be seized for the following:

- 1) Public property is damaged
- 2) Public facilities are disturbed or damaged, i.e. manholes, water valves, hydrants, service clean-outs, shut-offs, hydro poles, transformers, etc.
- 3) Public roads are disturbed with cuts, tracks, dirt, dust, etc. **Roads must be kept clean on a daily basis.**
- 4) Public services are used without permission, etc.

A \$86.00 fee will be retained for repeat inspections, due to work not being ready.

Building permits must be finalized within 3 years of permit issuance in order to receive indemnity deposit refunds.

Indemnity fees are not transferable to third parties.

3. Inspection Requirements

Requesting inspections is the responsibility of the homeowner and/or contractor of the project. It is their responsibility to ensure the work is complete and ready for the inspector. Any work covered up before the inspection must be uncovered for proper inspection. In addition to the above, the builder is responsible for providing the permit drawings on site at the time of the inspection.

Inspections can be requested through "Cloudpermit" and will require to be confirmed with our office. Please understand that a requested inspection time is not approved until the building dept. office accepts the inspection. The requested time may be different from the approved time. You can also schedule inspections by contacting our office at least 24 hours in advance at 519-736-5408. Inspections will be available between 10:00 am to 12:00 pm and 1:15 pm to 3:30 pm.

Each major phase of construction must be inspected to verify the work conforms to the Ontario Building Code. The listed below are the mandatory inspections.

- 1) Storm and sanitary sewer connection inspection – water test required on both services.
- 2) Water Service Line inspection contact Public Works Department at 519-736-3664.
- 3) Footing inspection – before pouring concrete.
- 4) Parge & tar inspection – before backfilling.
- 5) Underground storm completion Sump pit discharge and rear yard drain connection only.
Downspout connections are not permitted.
- 6) Grade entry inspection – rigid insulation installed prior to inspection.
- 7) Underground plumbing inspection – water test or air test.
- 8) Rough-In Radon Mitigation Inspection – Refer to drawing below.
- 9) In-floor heating inspection – air test required.
- 10) Rough plumbing inspection – water test or air test.
- 11) Water Line inspection – air test required.
- 12) Rough framing inspection – Provide roof truss and engineered floor joist drawings.
- 13) Fire Separation – where required.
- 14) House Wrap Inspection – May be part of framing inspection.
- 15) Concrete porch rebar inspection
- 16) Fireplace inspection – before damper installation (WETT Certification required).
- 17) Insulation & air/vapour barrier inspection. (Post attic insulation certificate at the hydro panel location).
- 18) Water meter installation – Public Works Department 519-736-3664.
- 19) Rear yard drainage inspection – before backfilling.
- 20) Occupancy Inspections
- 21) Final Clearance – Indemnity deposit return. Return if permit is cleared within 3 years of permit issuance.

4. Inspection Guidelines

Water, Storm and Sanitary

- 1) Both storm and sanitary connections must be ready and water tested for inspection.
- 2) Water connection inspection is to be booked with Public Works at 519-736-3664.

Footing

- 1) All form work placed and secured.
- 2) Soil must be undisturbed with no loose, frozen, or organic material.
- 3) A soils report may be required if soil conditions are questionable.
- 4) A top of footing elevation certificate* must be presented to the Building Inspector at the time of the inspection. *****Certificates must be prepared by an Ontario land Surveyor, Professional Engineer or a Certified Engineering Technician*****

Backfill / Storm Completion

- 1) All storm piping must have a water test for inspection.
- 2) Weeping tile must be covered with clear stone and geo sock or building paper to prevent ingress of sand.
- 3) Storm sewers must be on firm soil, clear stone, or secured to the foundation.
- 4) Storm pipe suspended by foundation must be secured with straps and saddles at maximum 16" o/c.
- 5) Pipe penetrations through foundation wall must be properly sealed with non-shrinkable grout and tar.
- 6) 'Y' and 45° fittings are to be used for vertical to horizontal downspout connections.
- 7) 'TY' fittings are permitted for test tees and cleanouts only.
- 8) Two 45° elbows or one 90° 'long sweep' elbow fitting may be used for horizontal installations.
- 9) Ensure that a sump pump discharge with overflow is provided. (Refer to diagram).
- 10) All downspouts must be splashed on to grade level. A maximum of one downspout may be connected (usually at main entry walkway).
- 11) Directing ground water into the sanitary sewer is not permitted.

Framing

- 1) Provide proper access to all floor levels.
- 2) Ensure that all framing is complete including installation of windows, doors and house wrap.
- 3) Approved drawings must be available on site including approved pre-engineered roof trusses, floor joist layout and beam drawings.
- 4) All steel beams and columns must be bolted and secured.
- 5) Exterior columns must be anchored top and bottom.
- 6) All truss bracing must be complete for inspection.
- 7) Attic hatch opening must be installed.

Fire Separations

- 1) Where applicable, required fire separations must be inspected.
- 2) ABS piping is not permitted within party walls.

Plumbing

- 1) All residential dwellings must be equipped with a backwater valve (open type) or a sewage ejector where specified. (Refer to diagram)
- 2) All plumbing must be tested with either a water or air test (5 psi) and exposed for inspection.
- 3) Water lines and in-floor heating inspections are required to have an air test (100 psi).
- 4) Provide smash plates on all drain lines and waterlines where required.
- 5) Maximum hot water temperature supplied to fixtures shall not exceed 49 degrees Celsius for dwelling units.
- 6) Drain Water Heat Recovery Units (DWHR) must be installed to receive drain water from at least two showers and must be installed in an upright position. (as per submitted SB-12 Compliance requirements).
- 7) Hot Water heating must meet the minimum Energy Efficiency outlined in your SB-12 Compliance package.

Radon Rough-In Mitigation

- 1) Radon rough-ins are required on all residential construction projects. This is a rough-in only in the event through testing there is high levels of Radon the rough in will allow for mitigation equipment to be installed to the rough in pipe.
- 2) Rough-in will consist of a 4" (100mm) pipe installed under the slab in the gravel near the centre of the house and terminate in a location that is accessible. A sealed cap must be installed and labelled. The label must indicate a RADON ROUGH IN (refer to diagram).

Heating

- 1) Grade entrances must have a supply air register at floor level within 5 feet of the door.
- 2) Heat ducts in attic spaces, exterior walls and garage areas must be sealed and insulated (min. R-12).
- 3) All return air inlets must be at floor level in basements.
- 4) All heating and cooling units must be at least 36" from any side yard.
- 5) Insulation of ductwork must be completed for insulation inspection.
- 6) Heat Recovery Ventilators (HRV) units required in all new dwellings.

Insulation

- 1) All previous inspections are required to be completed and passed prior to insulation inspection.
- 2) Buildings must be weather protected to prevent rain ingress.
- 3) All coffered ceilings must have minimum of R-60 insulation.
- 4) Insulation stops minimum 16" must be installed at all change of ceiling heights.
- 5) Blown-in insulation cannot be installed on sloped ceilings greater than 2.5/12.
- 6) Provide blown insulation certificate. Certificate to be located and secured near the electrical panel.

Structural Slabs over Cellar

- 1) Slab re-enforcing must be installed as per code, including ties to foundation walls.
- 2) Provide moisture protection for all wood in contact with concrete.
- 3) Inspection required prior to placement on concrete.

Rear Yard Drain and Final Grading

- 1) Rear yard catch basins to be installed as per grade design sheet attached to permit.
- 2) Extend solid storm pipe 10'-0" beyond dwelling.
- 3) Continuous weep tile to catch basin and tied to storm sewer.
- 4) Catch basin to have filter cloth under grate lid until final grading and landscape is completed.

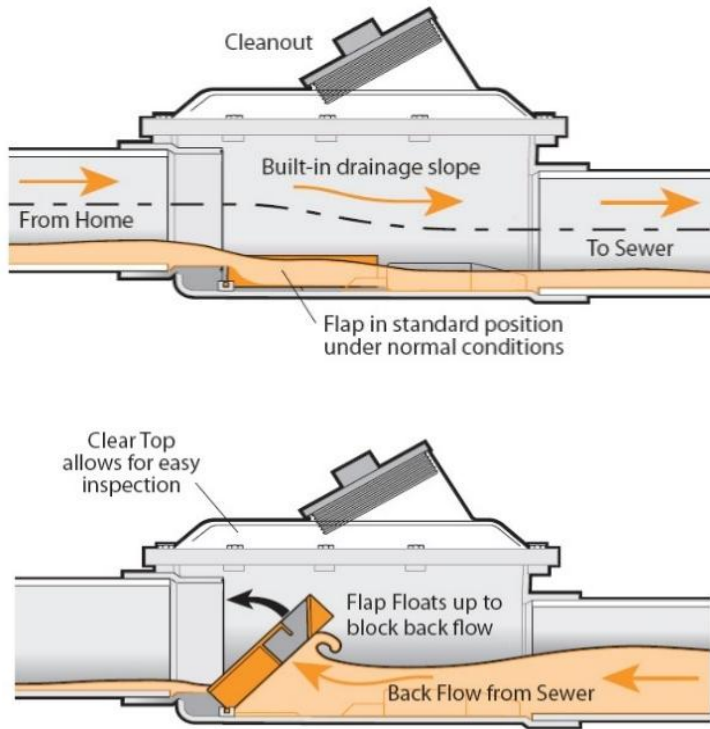
Final Inspection

- 1) A final inspection must be performed before occupying all buildings.
- 2) All exterior finishes to be completed.
- 3) Grading must be completed as per grading design.
- 4) Final grade certificate* must be submitted to the Building Department (The grade certificate should indicate the following elevations: Brick ledge, finished grades at front and rear of building, catch basin or swale and rear lot line.) ****Certificates must be prepared by an Ontario land Surveyor, Professional Engineer or a Certified Engineering Technician****
- 5) Gas meter to be installed and connected.
- 6) All interior finish work completed.
- 7) Water meter must be installed and connected.
- 8) All smoke and carbon monoxide detectors with strobe lights to be connected and operational.
- 9) All stairways to be completed with guard rails and handrails.
- 10) Self-closing devices required on doors between garage and house.
- 11) All plumbing and heating to be complete and operational.
- 12) All cleanouts exposed complete with screw on caps.

An occupancy certificate will be digitally issued through Cloudpermit only if all items are completed. A certificate will not be issued if any deficiencies are safety related (ex. Guards missing).

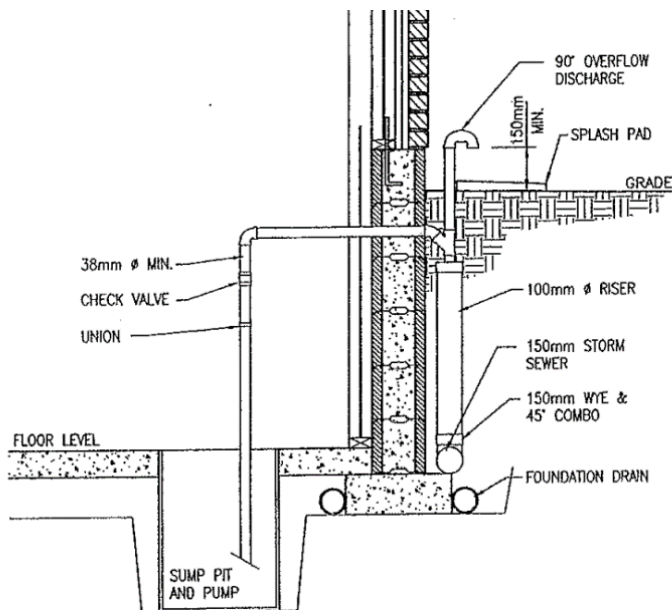
5. How does a back water Valve work?

Your home's sewer system directs water and sewage to flow out of the house. A backwater valve will stop water or sewage from flowing into your house should the main sewer line become overloaded. These devices are required in all new constructed homes.



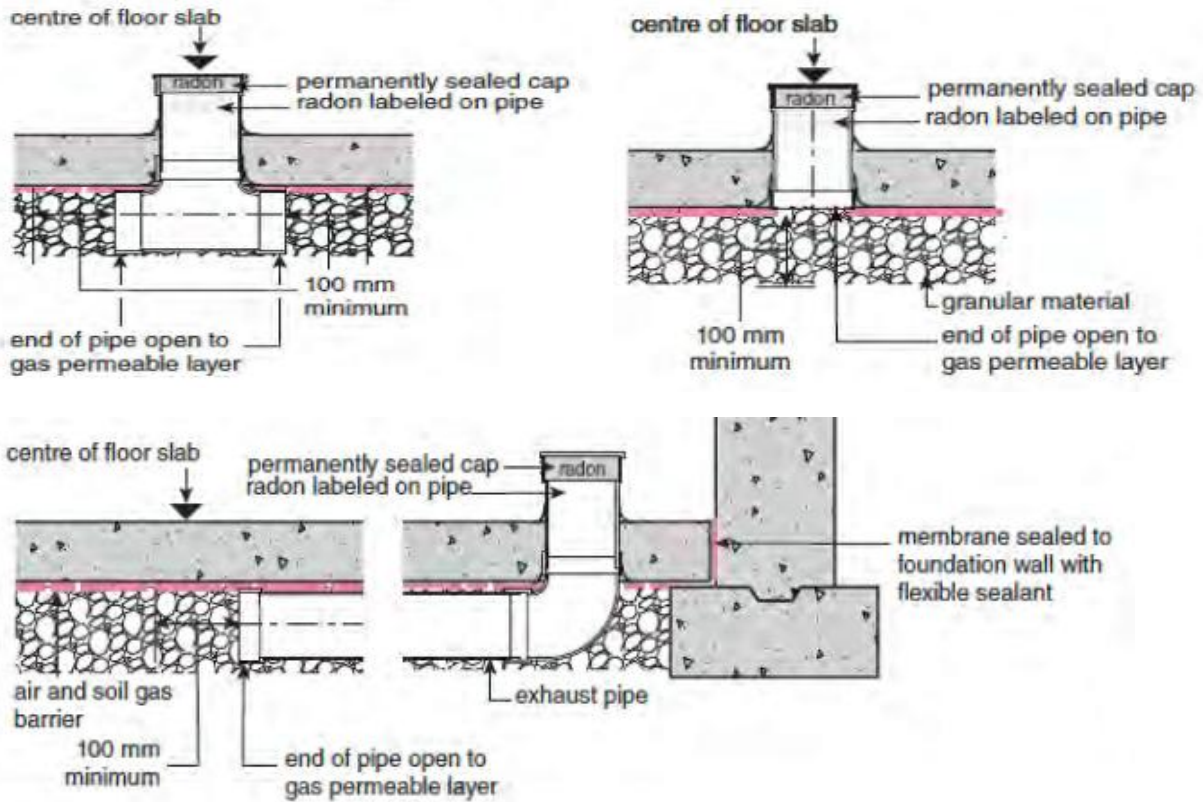
6. Sump Pump Discharge Overflow

This will allow storm water to discharge onto the ground if there is a surge of water to pump out. The attached photo and sketch show how the overflow is to be installed.

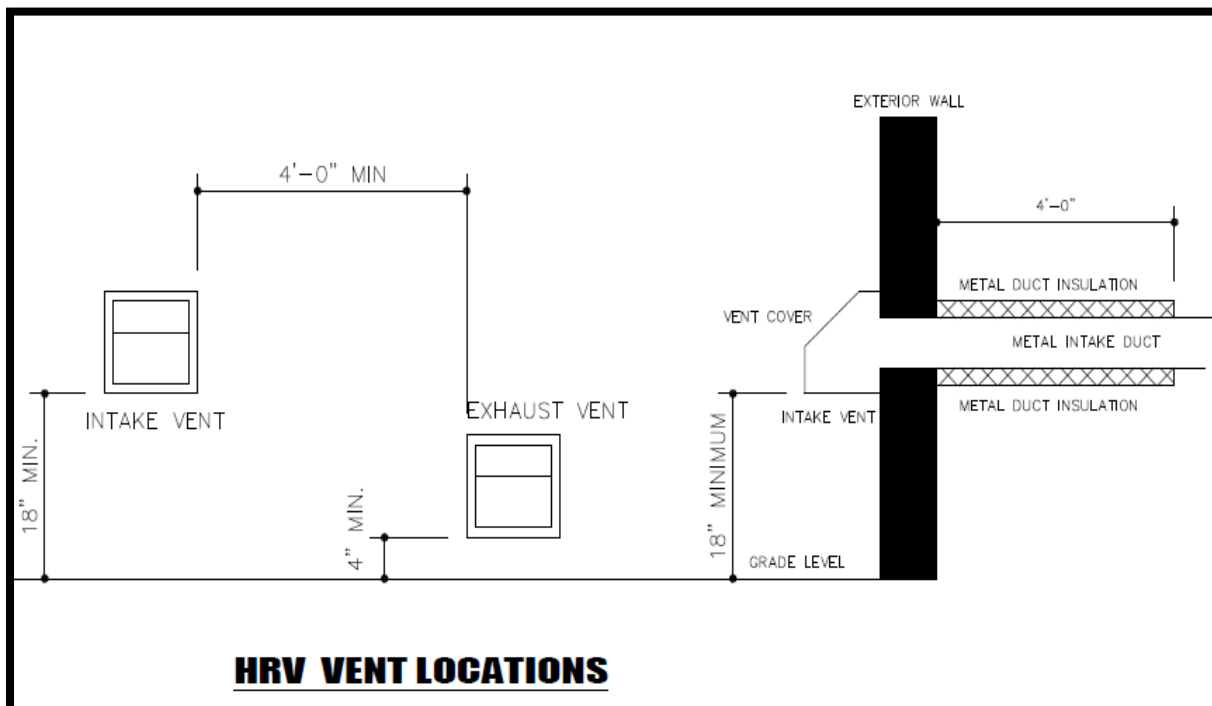


7. Radon Rough-in (VOLUME 2 - SB-9)

Rough-in will consist of a 4" (100mm) pipe installed under the slab in the gravel near the center of the house and terminate in a location that is accessible. A sealed cap must be installed and labelled. The label must indicate a RADON ROUGH IN.



8. Heat Recovery Ventilators



9. Window openings for Basement Bedrooms

Any bedrooms created in a basement level in a home must be provided with an egress window or must have direct access to the exterior with a grade entrance.

Refer to the drawings below for minimum sizes requirements.

Egress window serving floor areas containing bedrooms

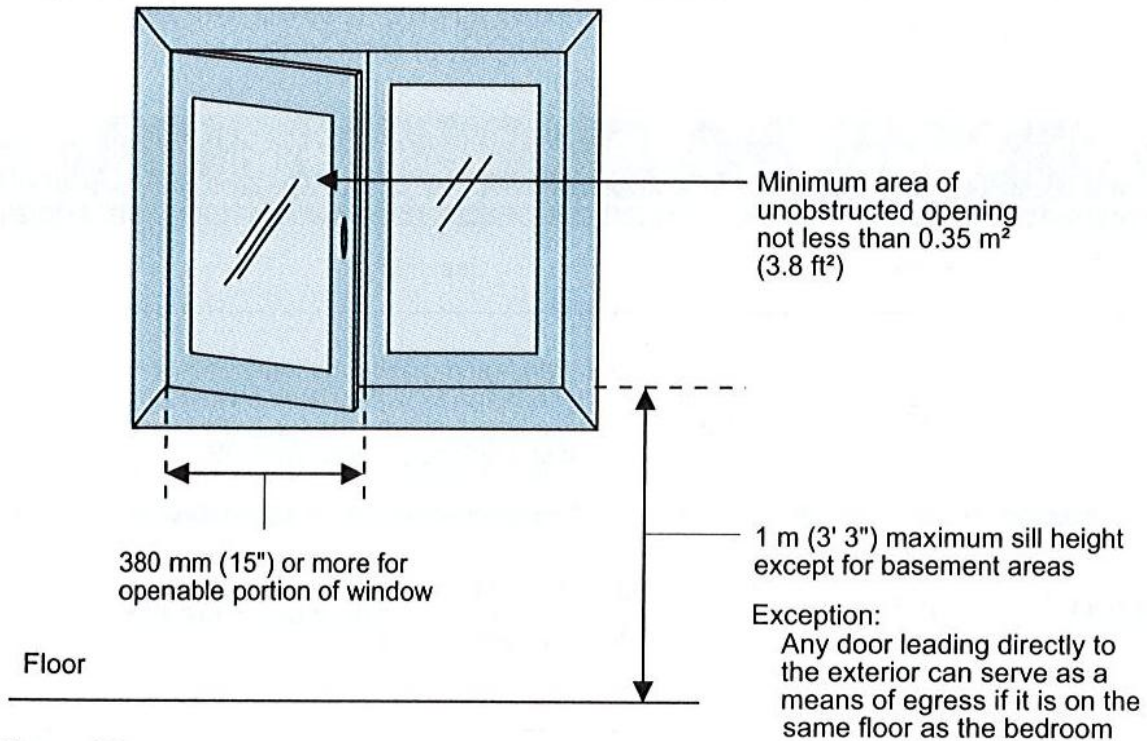


Figure 9.2
Egress Window Requirements

(9.7.1.3.)

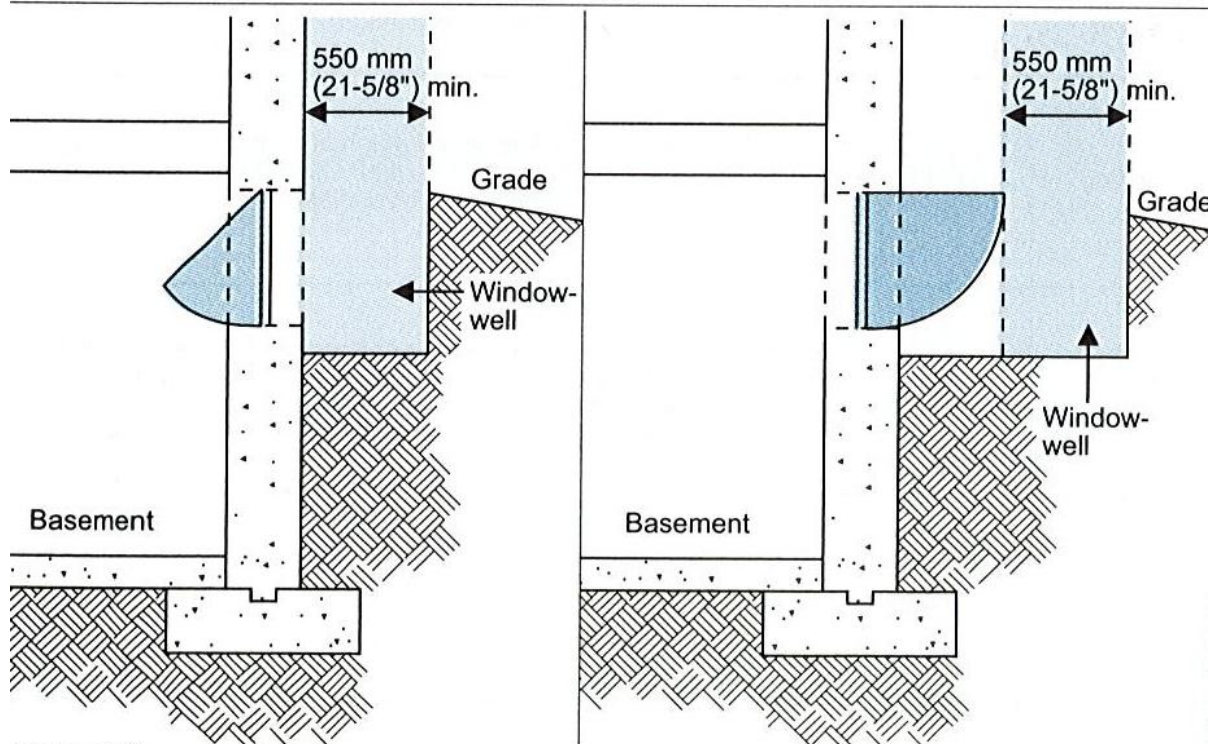


Figure 9.3
Egress Window Openings Into a Window Well

(9.7.1.4.)

10.Ontario Building Code Quick Reference

1. Exterior foundation walls to extend a minimum of 6" above finished ground level (9.15.4.6).
2. Minimum 6" stone bed over and around outside weeping tile. Cover stone with building paper or provide weep tile with sock cover. (9.14.3).
3. Foundation walls must be laterally braced prior to backfill. (9.12.4.3.)
4. Minimum headroom at beams and ducts in basement 6'-5" (9.5.3.1.).
5. Minimum headroom at stairs in dwellings 6'-5" (9.8.2.2).
6. Foam plastic insulation shall be covered with an interior finish (9.10.17.10).
7. All entrance doors including doors into attached garages to be resistant to forced entry with a deadbolt lock and vandal proof hinges (9.7.5.2).
8. Wall construction between the garage and the dwelling unit shall provide an effective barrier to protect against gas and exhaust fumes (9.10.9.18). Seal all penetrations.
9. Doors between a garage and house shall be tight fitting, weather-stripped and fitted with a self-closing device. (9.10.13.15).
10. All handrails and guards to comply with 9.8 OBC.
11. Smoke alarms within dwellings shall be installed on each storey (including basements), each sleeping room and hallways. All smoke alarms shall be interconnected and have battery backup and be provided with a visual aid (strobe) (9.10.19.).
12. Carbon Monoxide alarms shall be installed adjacent to each sleeping room(s), on each storey without sleeping rooms and in each sleeping room that shares a common wall, floor or ceiling assembly with a garage or adjacent to a shared attic or crawlspace with that garage, (9.32.3.9A).
13. Roof trusses that span more than 40'-0" must be provided with an engineer's stamp. (9.23.1.1).
14. Attic access hatch must be insulated (min R-20) and weather-stripped (SB-12 2.1.1.7).
15. Equipment shall be installed to provide to every *dwelling unit* an adequate supply of service hot water with a temperature range from 45°C to 60°C . (9.31.6.1A.)
16. Laying masonry in cold weather must be protected from the elements and maintain a minimum temperature of 5C (41F) for a duration of 48 hours after installation (9.20.14).
17. Heat Recovery Ventilators (HRV) units are required in all new dwellings.
18. Drain Water Heat Recovery (DWHR) units must be installed to receive drain water from at least two showers and must be installed in an upright position as per SB-12.
19. All Electrical Installations must be inspected by the Electrical Safety Authority. Please contact and apply through ESA.

11. Record of Requested Building Inspections (Applicant / Owner Use)

<u>Type of Inspection</u>	<u>Date Requested</u>	<u>Date Approved</u>
Storm and Sanitary		
Footings		
Grade Entry Insulation		
Backfill and Storm Completion		
Underground Plumbing		
Radon Rough in Mitigation		
Framing		
Fire Separation (if required)		
Rough Plumbing		
Waterlines		
Rough Heating		
Basement Insulation		
Main Floor Insulation		
Second Floor / Bonus Room Insulation		
Rear Yard Drain and Grading		
Occupancy		
Final Clearance		