



The Corporation of The Town of Amherstburg

BUILDING DEPARTMENT

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<https://www.amherstburg.ca/en/town-hall/building-applications-permits.aspx>



GUIDE TO ACCESSORY STRUCTURES

Version: 2025

An accessory structure is a building or structure that is incidental or accessory to the main building located on the same property. This can include sheds, garages, pool houses, gazebos, etc.

There are different requirements that need to be reviewed prior to a building permit being issued. Listed below are some general requirements for accessory structures in residential zones however refer to Zoning By-law 1999-52 for additional information.

1. Requirements for structures that do not require a Building Permits

- Not greater than 15 sq. meters (161 square feet).
- Structure does not contain plumbing.
- Maximum building height is 5.5 meters (18'-0" to the top peak of roof).
- Minimum set back of 1.2 meters (4'-0") is required from interior lot lines.
- Not allowed in required exterior yard.
- Refer to attached sketches.

Construction Requirements:

- Not regulated by the Ontario Building Code.
- Must comply with all municipal by-laws.
- Building cannot be located on an easement.
- Existing rear yard drainage must be maintained.
- Ensure that all rainwater does not shed on to neighboring properties. Must maintain own water runoff.

2. Requirements for structures that require a Building Permit

- Structure is greater than 15 sq. meters (161 square feet).
- Contains any type of plumbing within the structure.
- Maximum building height is 5.5 meters (18'-0" to the top peak of roof).
- Minimum set back of 1.2 meters (4'-0") is required from interior lot lines
- Not allowed in required exterior yard
- Structure cannot exceed the size of the main dwelling
- Refer to the by-law page for additional zoning information

Construction Requirements:

- A "rat wall" foundation may be used for structures 55 sq. meters (592 square feet) or less. "Rat walls" cannot support any type of masonry and not support more than one storey.
- Full foundation depth must be used if the structure is supporting masonry and if the structure is greater than 55 sq meters (592 square feet). (Ref. 9.35.3.1)
- Buildings (and overhangs) cannot be located on an easement.
- Existing rear yard draining must be maintained.
- Ensure that all rainwater does not shed on to neighboring properties.
- Refer to attached sketches for foundation types.

3. How large of a structure can I build on my property?

The size of structure that can be built on any particular property is dependent on several factors.

- Zoning
- Size of property
- Size of existing residence
- Size of all existing structures on the property (permitted and non-permitted)

Accessory Structure Yard Requirements							
Zone	Front Yard	Interior Side Yard	Exterior Side Yard	Rear Yard	Max. Lot Coverage	Accessory Structure Max. Allowable Coverage	Cannot Exceed
R1	7.5m (24'-7")	1.2m (3'-11")	7.5m (24'-7")	1.2m (3'-11")	35 %	10% of lot area	1076 or size of dwelling
R1A	7.5m (24'-7")	1.2m (3'-11")	7.5m (24'-7")	1.2m (3'-11")	30 %	10% of lot area	1991 or size of dwelling
R2	6m (19'-8")	1.2m (3'-11")	6m (19'-8")	1.2m (3'-11")	35%	10% of lot area	1076 or size of dwelling
A Undersized	Not permitted – behind main dwelling only	3m (9'-10")	10m (32'-10")	3m (9'-10")	30%	10% of lot area	N/A

Note: Accessory structures are not permitted in any required front yard

There are several zoning designations within the Town of Amherstburg. Please confirm the zoning of your property prior to any application submission as it will determine the maximum limit of lot coverage. Refer to the Zoning Bylaw. This guide does not include Agricultural and Industrial zones.

For example, **R1** zoning has a maximum lot coverage of 35% for all structures (permitted and non-permitted) including the main dwelling unit on the property. There are additional requirements that will limit the size of the accessory structure such as, it cannot exceed the size of the main dwelling, cannot exceed 10% of the lot size and cannot exceed 100m² (1076 SF). For the **R1A** zoning the total lot coverage is 30%. For accessory structures in this zone, the structure cannot exceed the size of the main dwelling, cannot exceed 10% of the lot size and cannot exceed 185 m² (1991 SF).

Refer to the calculation sheet attached to assist you in determining the size of structure that can be constructed on your property.

Sample Calculation Sheet

ACCESSORY STRUCTURE SIZE CALCULATION SHEET		
R-1 and R-2 ZONING (Typical Residential Zoning)		
Step # 1		
1	Lot Area	7200 SF
2	35% Maximum Allowable Coverage for all structures including dwelling (R1 & R2)	2520 SF
3	10% Maximum Allowable Accessory Structures or maximum of 1076 SF	720 SF
Step # 2		
4	Existing house and attached garage area	2150 SF
5	Existing accessory structure size (if applicable)	120 SF
6	Total square foot area of all buildings on property	2270 SF
7	This value represents the allowable accessory structure size permitted provided: -size is less than the size of house in line 4 and 10% maximum size of lot and -does not exceed 100 m2 (1076 SF)	250 SF

← Applicant to provide

← Multiply lot area by 35%

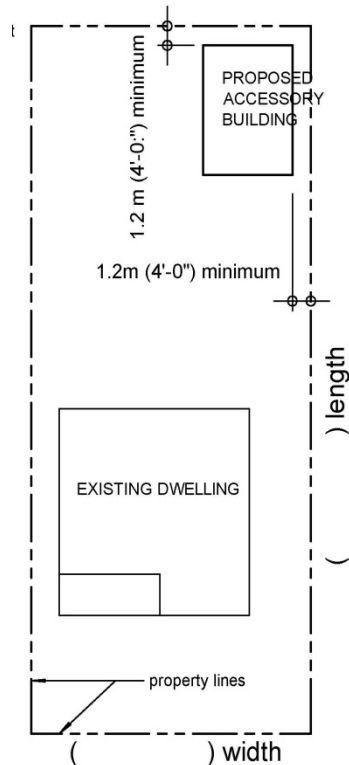
← Multiply lot area by 10%

← Applicant to provide

← Applicant to provide

← Add both values from line 4 and 5

← Subtract line 6 from line 2



FRONT YARD

SAMPLE SITE PLAN
RESIDENTIAL ZONE

Lot size **60'-0" x 120'-0" = 7200 SF**

Existing house size **2150 SF**

Existing accessory Structure **120 SF**

Therefore the allowable size permitted is 250 SF which is a structure that is approximately 15'-8" x 15'-8".

Applicant Work Sheet

ACCESSORY STRUCTURE SIZE CALCULATION SHEET

R-1 and R-2 ZONING (Typical Residential Zoning)

Step # 1

1	Lot Area	SF
2	35% Maximum Allowable Coverage for all structures including dwelling	SF
3	10% Maximum Allowable Accessory Structures or maximum of 1076 SF	SF
Step # 2		
4	Existing house and attached garage area	SF
5	Existing accessory structure size (if applicable)	SF
6	Total square foot area of all buildings on property	SF
7	This value represents the allowable accessory structure size permitted provided: -size is less than the size of house in line 4 and 10% maximum size of lot and -does not exceed 1076 SF	SF

Percentage maximum allowable coverage varies depending on zoning. Please see table on page 3

Notes

This image shows a blank sheet of white paper with horizontal ruling lines. The lines are evenly spaced and extend across the width of the page. There are no margins, text, or other markings on the paper.

4. **What is required to obtain a building permit for an Accessory Structure?**

The Town of Amherstburg currently uses an online permit submission portal called [Cloudpermit](#). All applications will require to be completed online using Cloudpermit. Visit our website www.amherstburg.ca/building or log onto <https://ca.cloudpermit.com> to create an account. With this online system, it will allow you to complete the entire building permit process from anywhere at any time. All drawings will be required to be completed by a certified designer. All drawings shall be a minimum scale as indicated. The following drawings are required.

- Site plan (sample attached). Drawing must include location of property lines, existing structures including dimensions, septic system location in proximity to the new structure.
- Foundation plan (3/16" = 1'-0") sample attached.
- Floor plans (3/16" = 1'-0") sample attached.
- Elevations (3/16" = 1'-0") sample attached.
- Sections and details (1/2" = 1'-0") sample attached.

Along with the drawings listed above, other approvals may be required for your particular project. The following are some approvals that may be required upon submitting your application prior to issuance of a building permit.

- ERCA
- Septic Sewage System Approval (if plumbing is added)
- Ministry of Transportation
- Committee of Adjustment (minor variance)
- Site plan agreement
- County road approval
- County of Essex construction / Entrance permit

5. **What is the cost of a building permit?**

The following is a sample list of possible fees for a **24' x 24'** accessory structure.

- | | |
|--|------------------|
| • Size of Structure based on SF price (min \$160.00) | \$ 345.60 |
| • Indemnity Fee | \$ 63.00 |
| • Indemnity/Application Fee Deposit | <u>\$ 500.00</u> |
| • Total Permit Fee | \$ 908.60 |

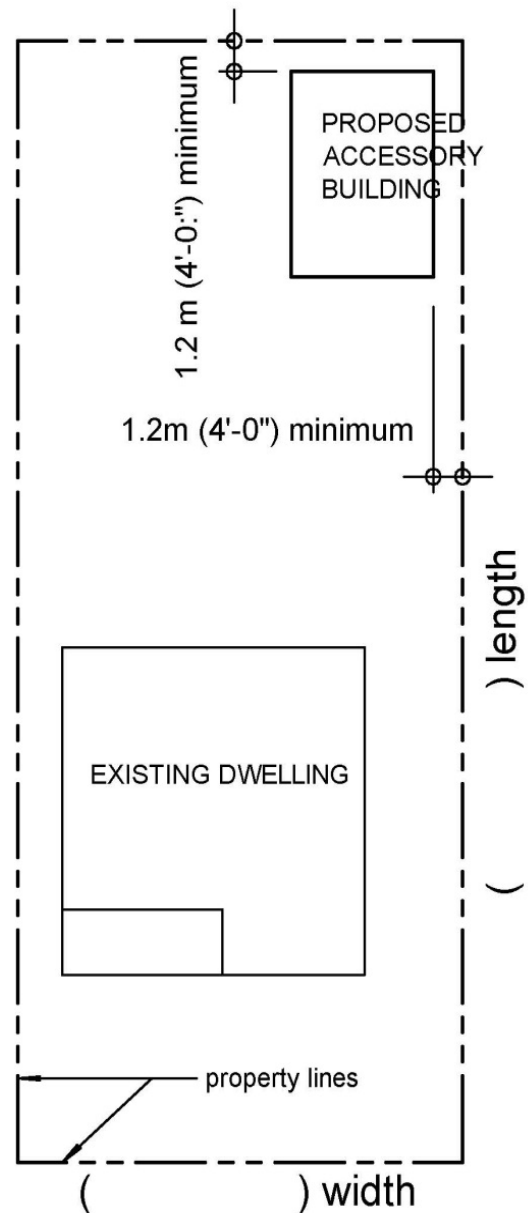
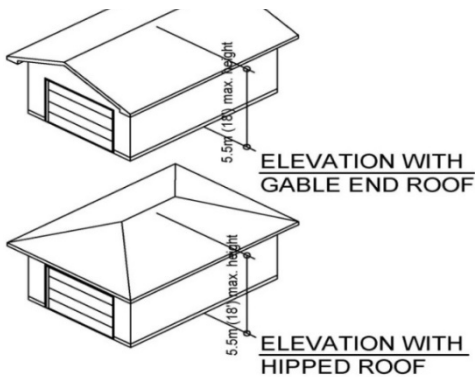
All payments must be paid in cash, cheque or online payments only. The Indemnity Deposit will be refunded following the final inspection of the building and if the permit is completed and cleared.

Some fees may vary. For our complete fee schedule go to our web site at www.amherstburg.ca.

Sample Site Plan and General Notes

Note:

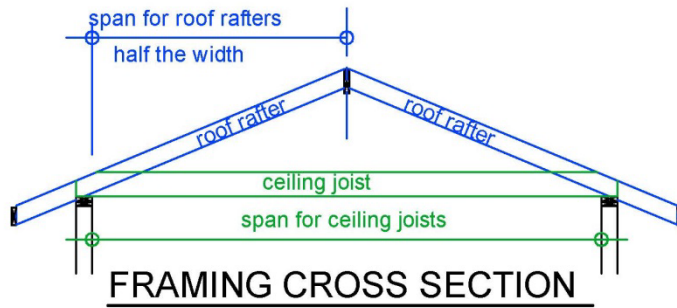
- The total of all accessory buildings are not to exceed 10% of the lot area to a maximum size of 100m² (1076 SF), except R1A allows 10% of the lot area to a maximum of 185 m² (1991 SF)
- The accessory building shall not exceed the gross floor area of the main building except in agricultural and industrial zones
- All buildings including the main building are not to exceed the total maximum allowable percentage of lot coverage
- Decks under 24" in height with no roof from grade and pools are excluded from lot coverage
- The minimum setback required from the rear lot line and the side lot line is 1.2m (4'-0")
- The maximum allowable building height to the peak of the roof is 5.5m (18'-0")
- Locate all other buildings, pools, septic systems, wells, decks over 24" in height, overhead electrical wires and easements where applicable.
- No structures permitted in any easements



FRONT YARD

SAMPLE SITE PLAN RESIDENTIAL ZONE

Sample Foundation/Floor Plans and Details

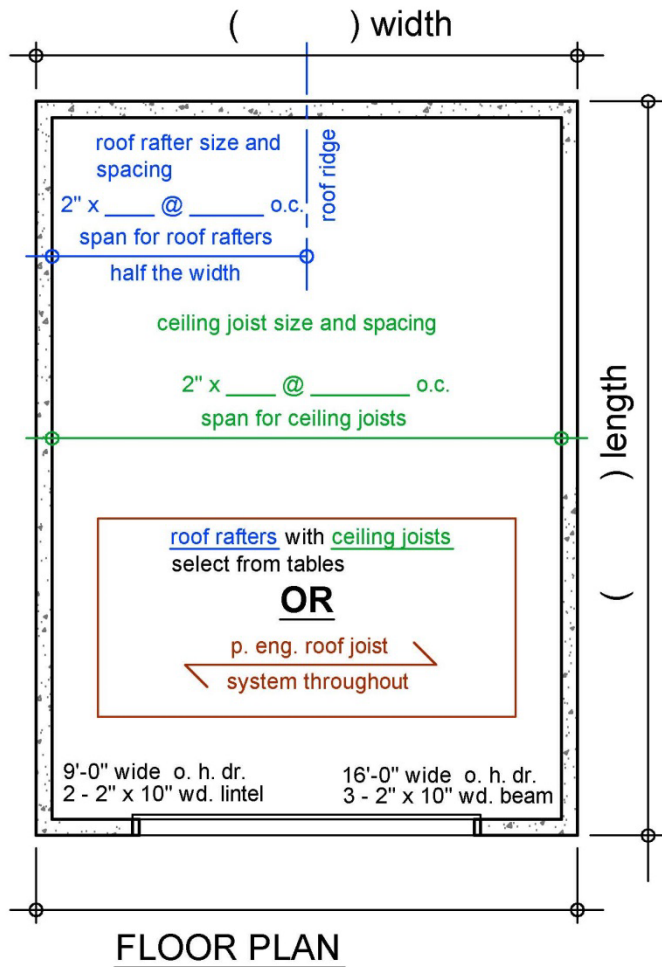


MAXIMUM SPAN FOR CEILING JOISTS

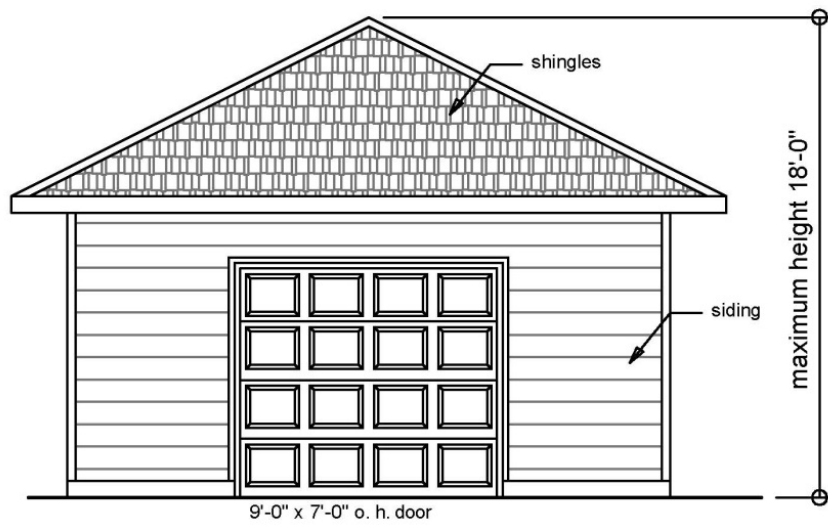
	ceiling joist spacing		
joist size	12"	16"	24"
2" x 6"	16'-0"	14'-6"	12'-8"
2" x 8"	21'-1"	19'-1"	16'-8"
2" x 10"	26'-10"	24'-6"	21'-4"

MAXIMUM SPAN FOR ROOF RAFTERS

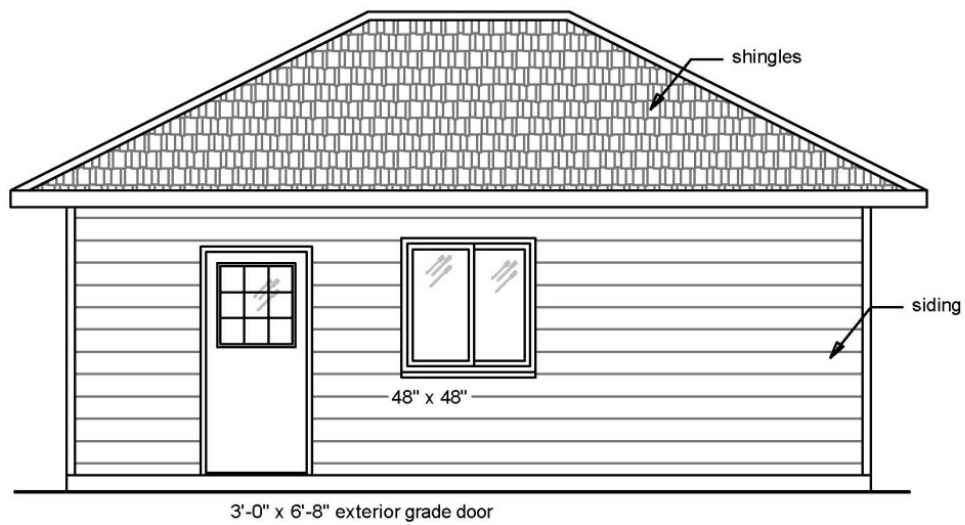
	roof rafter spacing		
rafter size	12"	16"	24"
2" x 6"	16'-0"	14'-6"	12'-8"



Sample Elevations

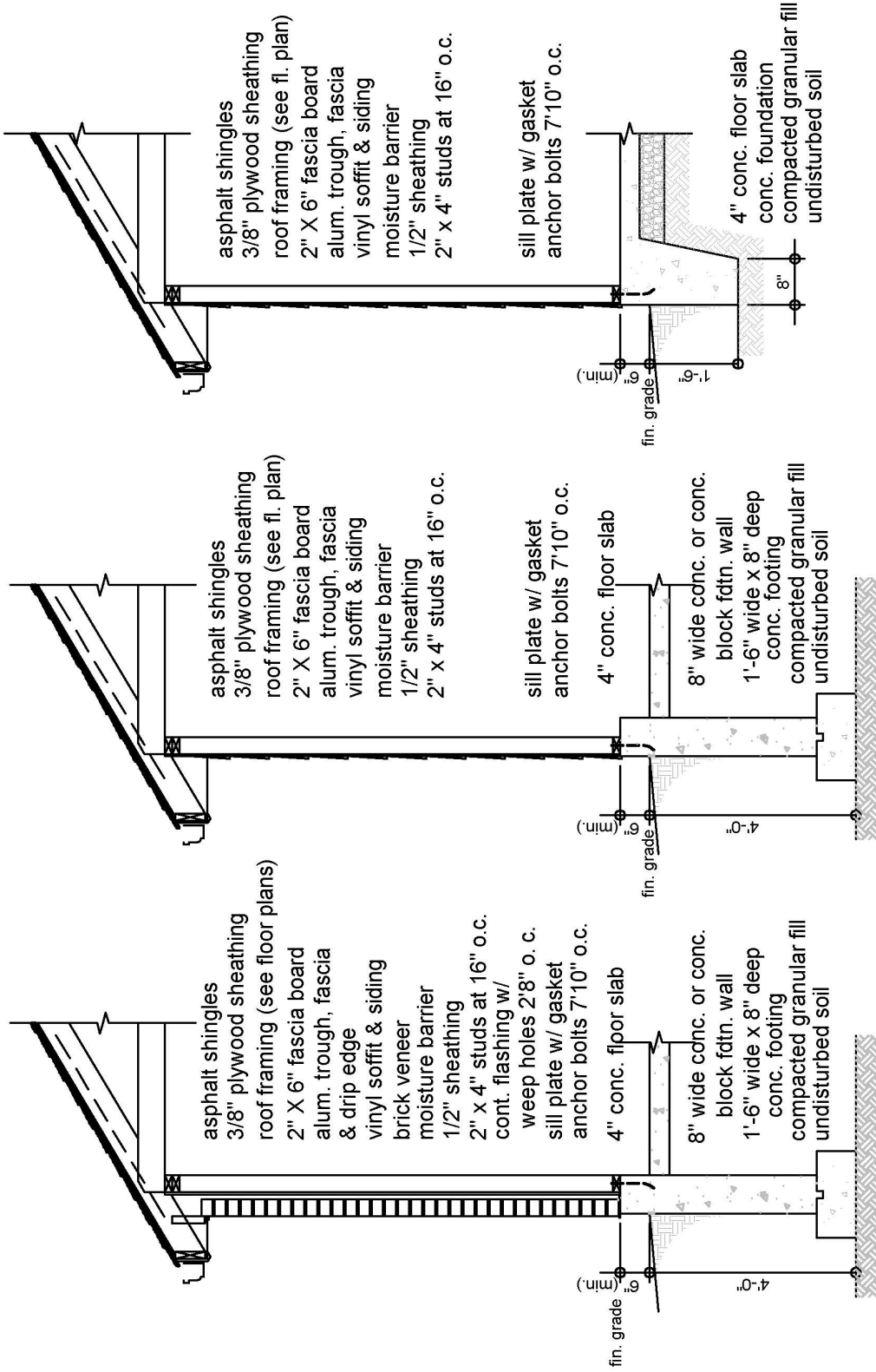


SAMPLE ELEVATION 1



SAMPLE ELEVATION 2

Typical Wall Section thru Accessory Structures



**TYPICAL
WALL SECTION**
SCALE: 3/8" = 1'-0"

**ALL BUILDINGS
WITH BRICK
OR STONE**

**TYPICAL
WALL SECTION**
SCALE: 3/8" = 1'-0"

**WITHOUT BRICK
FOR BUILDINGS
OVER 55 m2 (592 SQ. FT.)**

**TYPICAL
WALL SECTION**
SCALE: 3/8" = 1'-0"

**WITHOUT BRICK
FOR BUILDINGS
UNDER 55 m2 (592 SQ. FT.)**

6. Services – Overhead and Underground Service Infrastructure

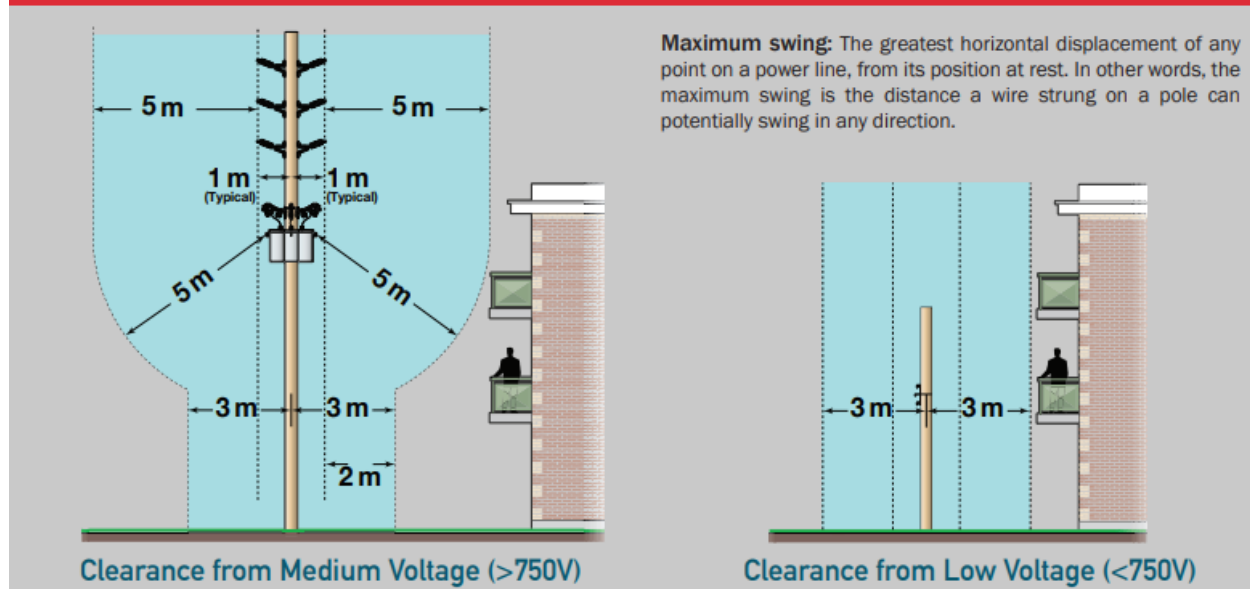
Clear communication and awareness between all parties involved in the design, construction and renovations of buildings near any servicing infrastructure is key. Property owners, developers, contractors etc. shall work together to ensure all laws, regulations and requirements are met for the safety of all. We recommend contacting your service providers for any questions or concerns.

Overhead Electrical Infrastructure

It is essential that your electrical provider be notified on proposed projects early in the design phase. The Ontario Building Code, Ontario Electrical Safety Code, Ontario Occupational Health and Safety Act, Ontario Regulations 22/04 all have the same requirements regarding clearances.

Clearance from the OH Power Line	<750V	>750V
Radial to Conductor	3m (10ft)	5m (16ft)
Along the OH pole (from a vertical line drawn from power line to ground level)	2m (6.5ft)	2m (6.5ft)

Figure 1: Ontario Building Code Clearance Requirements



Underground Servicing Infrastructure

Promoting safe digging practices protects you from injury, disruption, environmental impacts and repairs. Call or click before you dig to obtain locates. Respect those markings and follow utility guidelines. Call 1-800-400-2255 or visit <https://ontarioonecall.ca/> before you dig for any size project.

7. How long does it take to get my permit and when can I start?

Building permits are usually issued within 10 business day of a complete application being submitted. Applications that are incomplete because of missing or incorrect information will be delayed. **No work can commence** until the permit has been issued and all fees have been paid.

8. What inspections are required and how do I book an Inspection?

Requesting inspections is the responsibility of the homeowner or the contractor of the project. Inspections can be requested through "Cloudpermit" and will require to be confirmed with our office. You can also schedule inspection by contact our office at least 24 hours in advance at 519-736-5408. Inspections will be available between 10:00 am to 12:00 pm and 1:00 pm to 3:30 pm.

Inspection Requirements

It is the builder's responsibility to request inspections and confirm that all work has been completed and approved. Any work covered up before the inspection must be uncovered for proper inspection. In addition to the above, the builder is responsible to provide the permit drawings on site at the time of the inspection.

Each major phase of construction must be inspected to verify the work conforms to the Ontario Building Code. The listed below are the mandatory inspections.

The following schedule outlines the required inspections for building projects.

1. **Footing** inspection (before concrete is poured).
2. **Underground plumbing** inspection (water test or air test)
3. **In-floor heating** inspection
4. **Rough plumbing** inspection (water test or air test)
5. **Water Line inspection** (air test)
6. **Rough framing** inspection (Provide roof truss drawings and engineered floor drawings prior to the framing inspection.
7. **Insulation & air/vapour barrier** inspection.
8. **Final building, plumbing** (prior to occupancy)

Frequently Used Phone Numbers

1. Building Department.....	519-736-5408
2. Planning/Committee of Adjustment.....	519-736-5408
3. Public Works.....	519-736-3664
4. Water Department.....	519-736-3664
5. Clerks Department.....	519-736-0012
6. Finance Department.....	519-736-0012
7. MPAC.....	519-739-9920
8. Essex Power.....	519-737-6640
9. Hydro One.....	1-888-664-9376
10. Enbridge.....	1-866-772-1045
11. Ontario One Call (Call before your dig).....	1-800-400-2255
12. Electrical Safety Authority.....	1-877-372-7233
13. Essex Region Conservation Authority (ERCA).....	519-776-5209
14. County of Essex.....	519-776-6441
15. Windsor Essex County Health Unit.....	519-258-2146
16. Ministry of Transportation.....	519-354-1400
17. Ministry of Environment.....	519-254-2546
18. Ministry of Natural Resources.....	519-354-7340
19. Ministry of Municipal Affairs.....	416-265-4736
20. Windsor Police-Amherstburg Detachment.....	519-736- 8559
21. Amherstburg Fire Service.....	519-736-6500